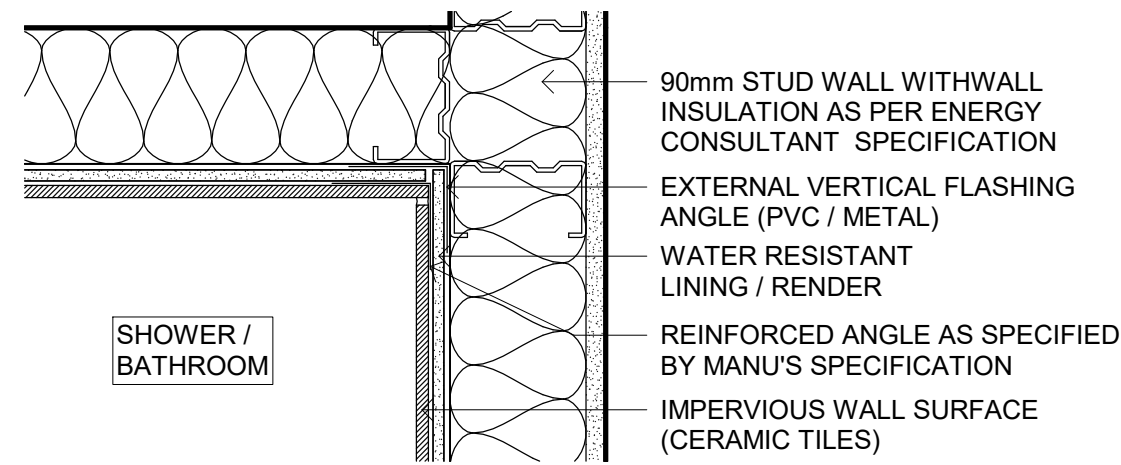


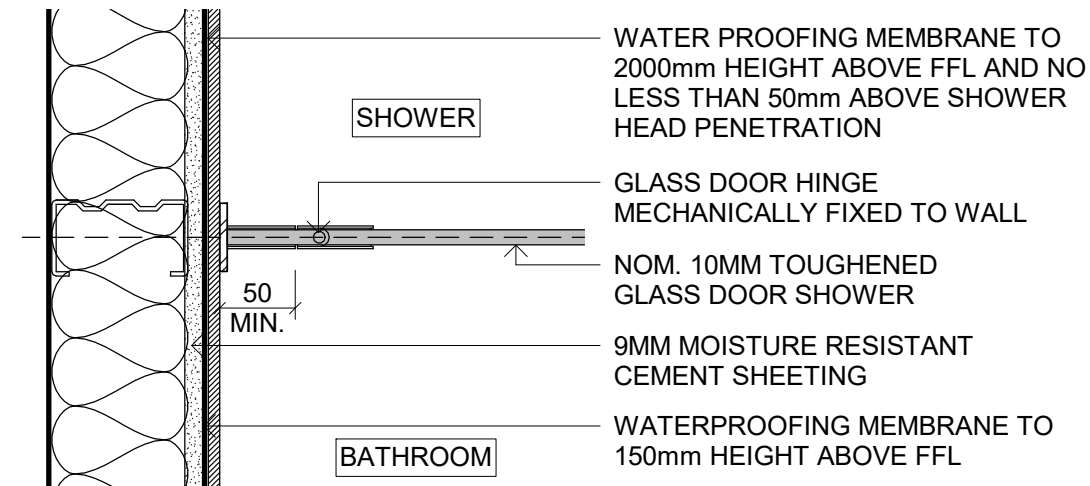
NOTES

- 1) ALL BATHROOMS TO BE LINED UP TO 1200mm HIGH MIN. ABOVE FLOOR LEVEL WITH WATER RESISTANT LINING OR RENDER.
- 2) JUNCTIONS OF IMPERVIOUS WALL & FLOOR SURFACES IN CATEGORY 1 & CATEGORY 2 AREAS SHALL BE SEALED WITH NEUTRAL, SELF-CURING, FLEXIBLE SEAL ANTS OR POYLSHULPHIDE-BASED SEALANTS, COMPLYING WITH AS 1526 OR AS 1527 AS SHOWN IN DETAIL 6.
- 3) FLOORS IN WET AREAS SHALL BE IMPERVIOUS & GRADED AT NOT LESS THAN 1:80 TO A REQUIRED WASTE OUTLET OR TO A SHOWER SET-DOWN CONTAINING A WASTE OUTLET.
- 4) A ROOM CONTAINING ONLY A SINGLE WC PAN SHALL HAVE AN IMPERVIOUS FLOOR SURFACE WHICH NEED NOT BE GRADED OR DRAINED TO A WASTE OUTLET. A MINIMUM OF 90mm SKIRTING OF TILES OR SEALED TIMBER IS REQUIRED AT THE WALL & FLOOR JUNCTION. THEN AN IMPERVIOUS WALL SURFACE IS NOT REQUIRED.
- 5) A KITCHEN FLOOR IS NOT REQUIRED TO A BE IMPERVIOUS OR GRADED TO A WASTE OUTLET. AN IMPERVIOUS WALL SURFACE IS NOT REQUIRED, EXCEPT WHERE A KITCHEN SINK ABUTS OR IS WITHIN 75mm OF A WALL.
- 6) IN ADDITION TO REQUIREMENTS FOR AN IMPERVIOUS SURFACE THE FLOORS OF ALL CATEGORY ONE AREAS SHALL BE WATERPROOFED BY THE INSTALLATION OF EITHER AN ACCREDITED SHOWER TRAY OR A PROPRIETARY SHOWER BASE. WHERE A FIXED SHOWER SCREEN IS INSTALLED, THE WATER PROOFING SHALL EXTEND:
- a) UP THE INNER FACE OF THE HOB AND ACROSS THE TOP TO THE OUTER FACE OF A HOB OR
 - b) WHERE THERE IS A 25mm MINIMUM SET DOWN TO THE SHOWER, 10mm PAST THE END OF THE SET DOWN OR
 - c) FOR DISABLED ACCESS WHERE NO HOB OR SET DOWN IS PROVIDED, THE WHOLE OF THE ROOM FLOOR SHALL BE CONSIDERED AS THE CATEGORY ONE AREA.
- 7) WHERE A FIXED SHOWER SCREEN IS NOT INSTALLED THE CATEGORY ONE AREA SHALL BE CONSIDERED TO EXTEND TO THE FLOOR WITHIN A HORIZONTAL RADIUS OF 1 500mm OF THE SHOWER OUTLET.
- THE IMPERVIOUS FLOOR SURFACE WITHIN THE SHOWER ENCLOSURE SHALL BE GRADED AT A MINIMUM OF 1:60 TO A SHOWER TRAP. WHERE THE FLOOR OUTSIDE THE SHOWER IS NOT DRAINED INTO THE SHOWER TRAP, A FLOOR TRAP SHALL BE PROVIDED.
- 8) ALL SHOWER TRAYS SHALL BE DRAINED INTO A DRAINAGE FLANGE IN THE SHOWER TRAP. THE HEIGHT OF THE SIDES ABOVE THE HIGHEST POINT OF THE FINISHED FLOOR SURFACE SHALL BE A MINIMUM OF 100mm ABOVE THE SHOWER FLOOR LEVEL OR A MINIMUM OF 75mm ABOVE AN ADJOINING STRUCTURAL FLOOR LEVEL OR 25mm ABOVE THE MAXIMUM POSSIBLE WATER LEVEL IN THE SHOWER COMPARTMENT WHICHEVER IS THE GREATER.
- AN EXTERNAL TRAY SHALL RETURN UP THE STUD-SIDE OF THE WALL BE ADHERED TO THE FLOOR, BUT SHALL NOT FIXED TO THE STUD WALL. AN INTERNAL TRAY SHALL BE AN ACCREDITED SYSTEM WHICH IS SEALED AGAINST THE SUBSTRATE, OR WALL LINING OR SHALL EXTEND TO THE FULL EXTENT OF THE IMPERVIOUS WALLING.
9. INSTALLATION OF PRE FORMED SHOWER BASES SHALL COMPLY WITH THE REQUIREMENTS OF THE MANUFACTURER'S SPECIFICATIONS. ANY ALTERNATIVE WATER PROOFING SYSTEM SHALL BE AN ACCREDITED SYSTEM INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.

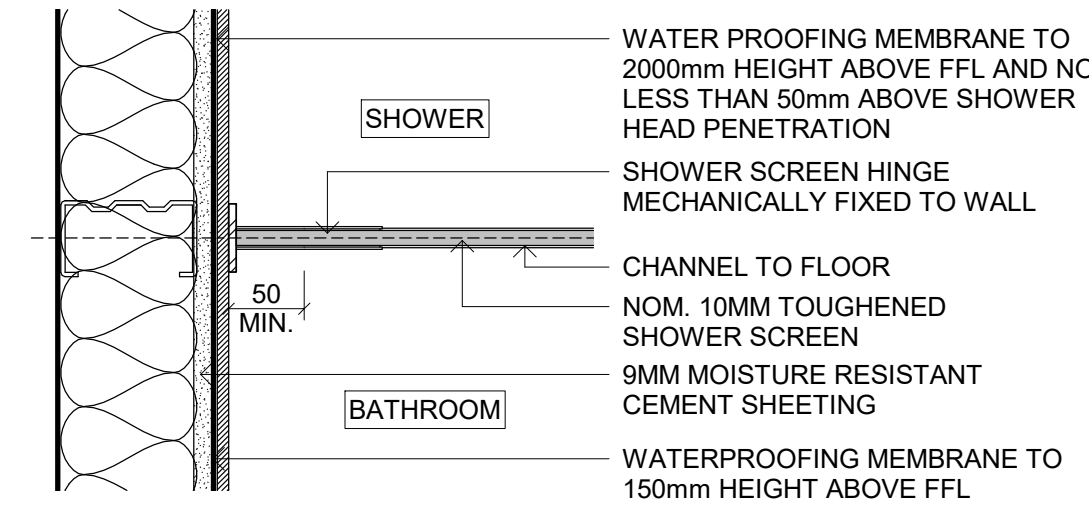
PLAN DETAILS



2 TYPICAL BATH / SHOWER CORNER
1 : 5

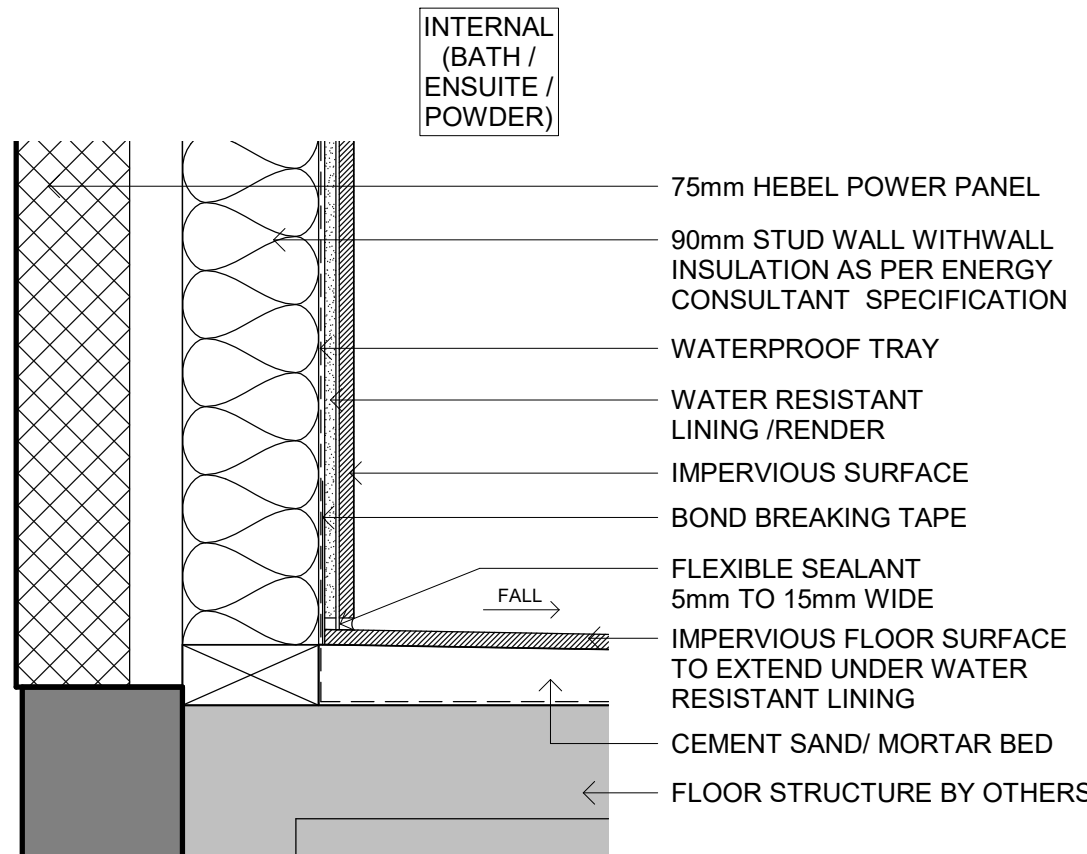


3 TYPICAL SHOWER DOOR / WALL
1 : 5

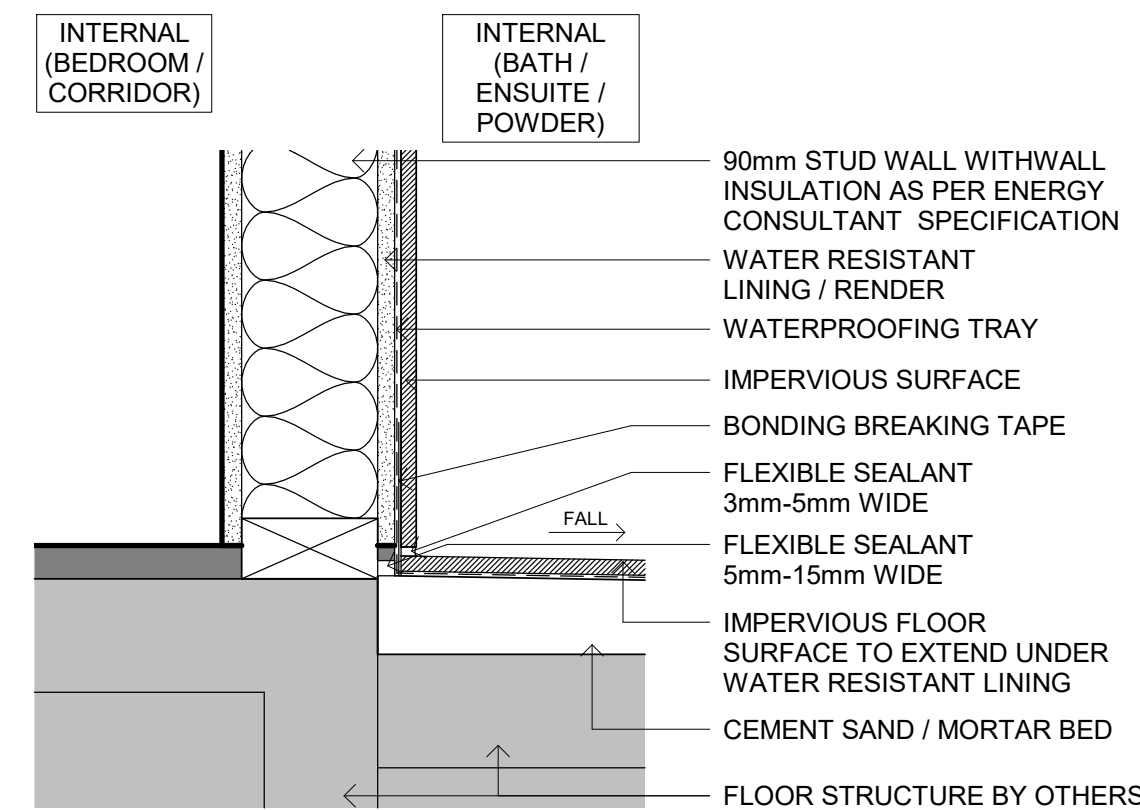


4 TYPICAL SHOWER SCREEN / WALL
1 : 5

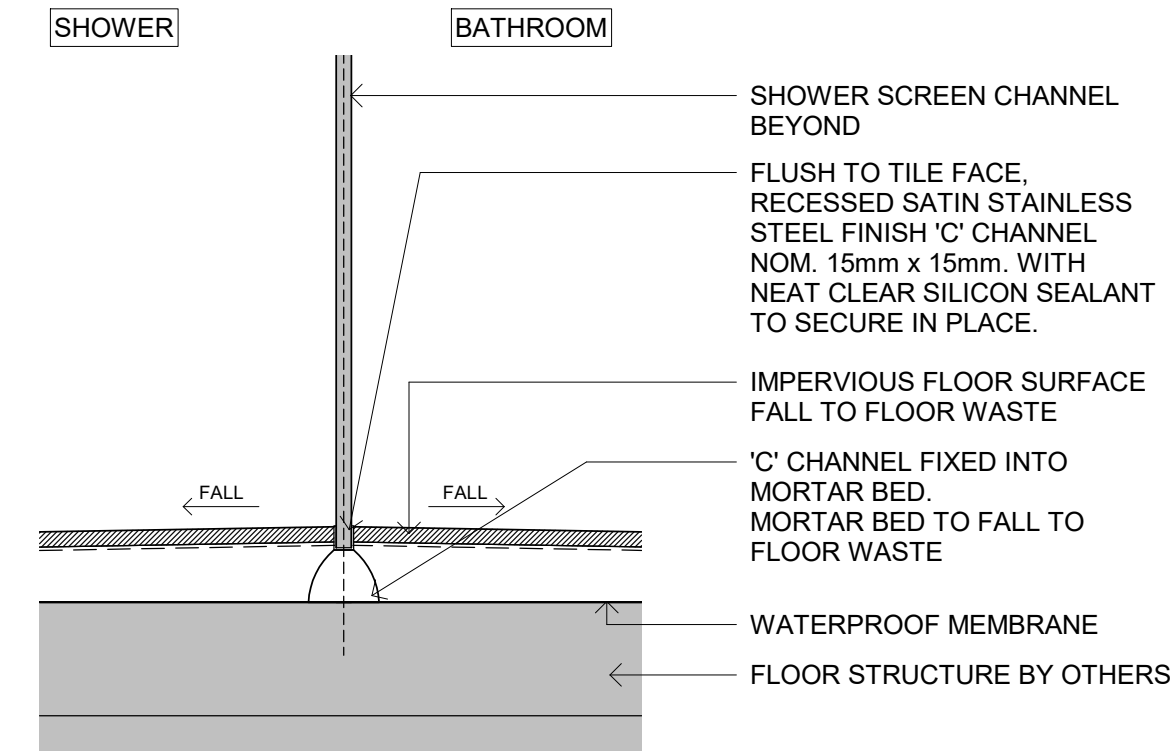
SECTION DETAILS



5 TYPICAL EXTERNAL / WET AREAS
1 : 5

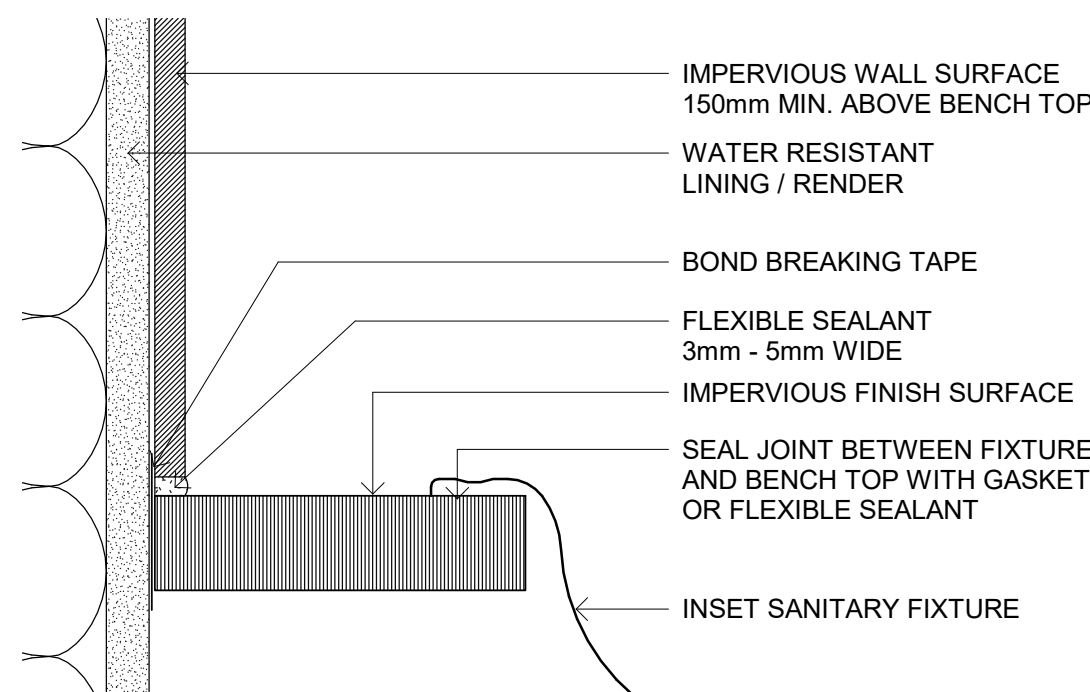


6 TYPICAL INTERNAL / WET AREAS
1 : 5

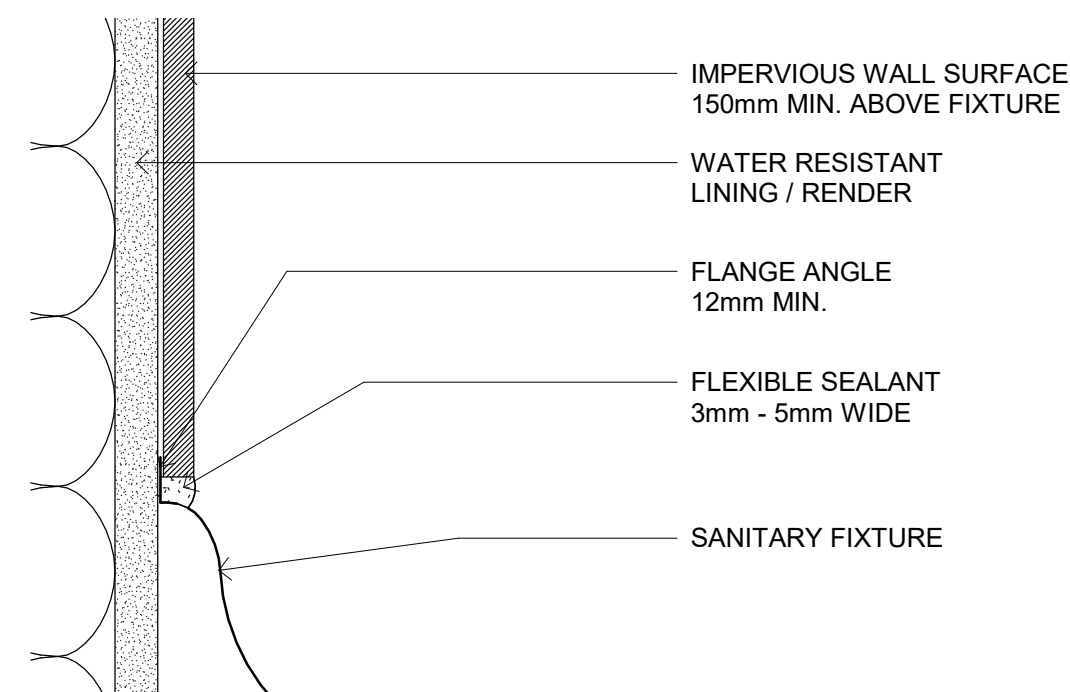


7 TYPICAL SHOWER SCREEN / FLOOR
1 : 5

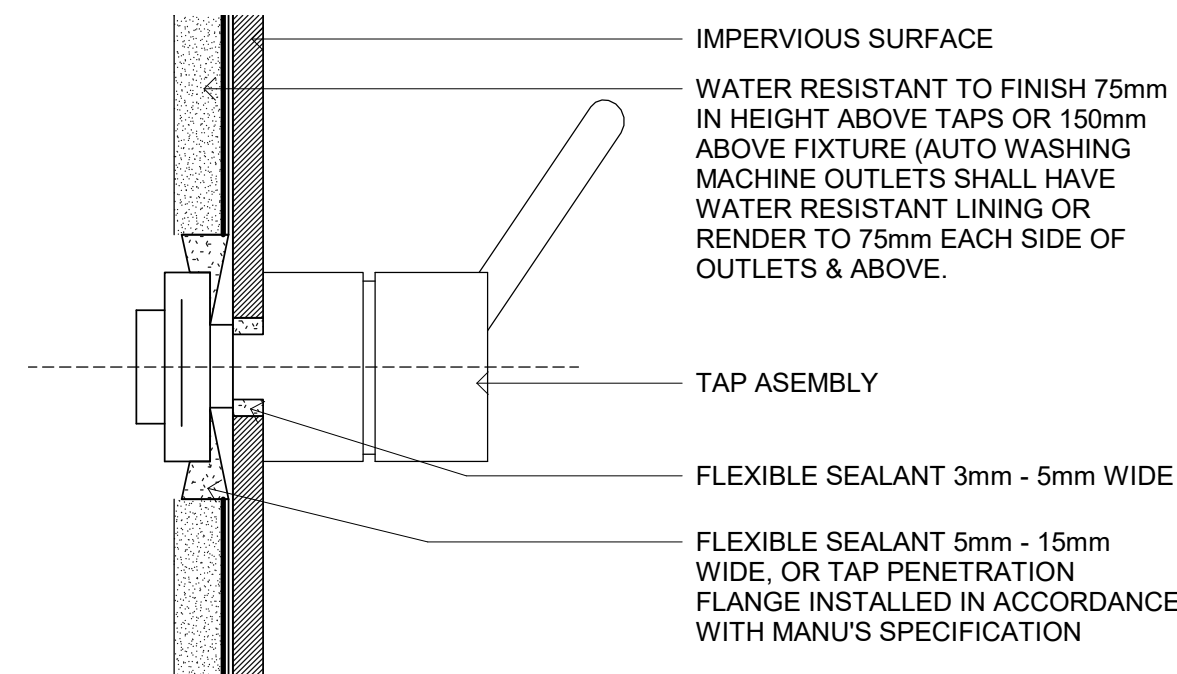
DETAILS



8 TYPICAL BENCH TOP / WALL DETAIL
1 : 2

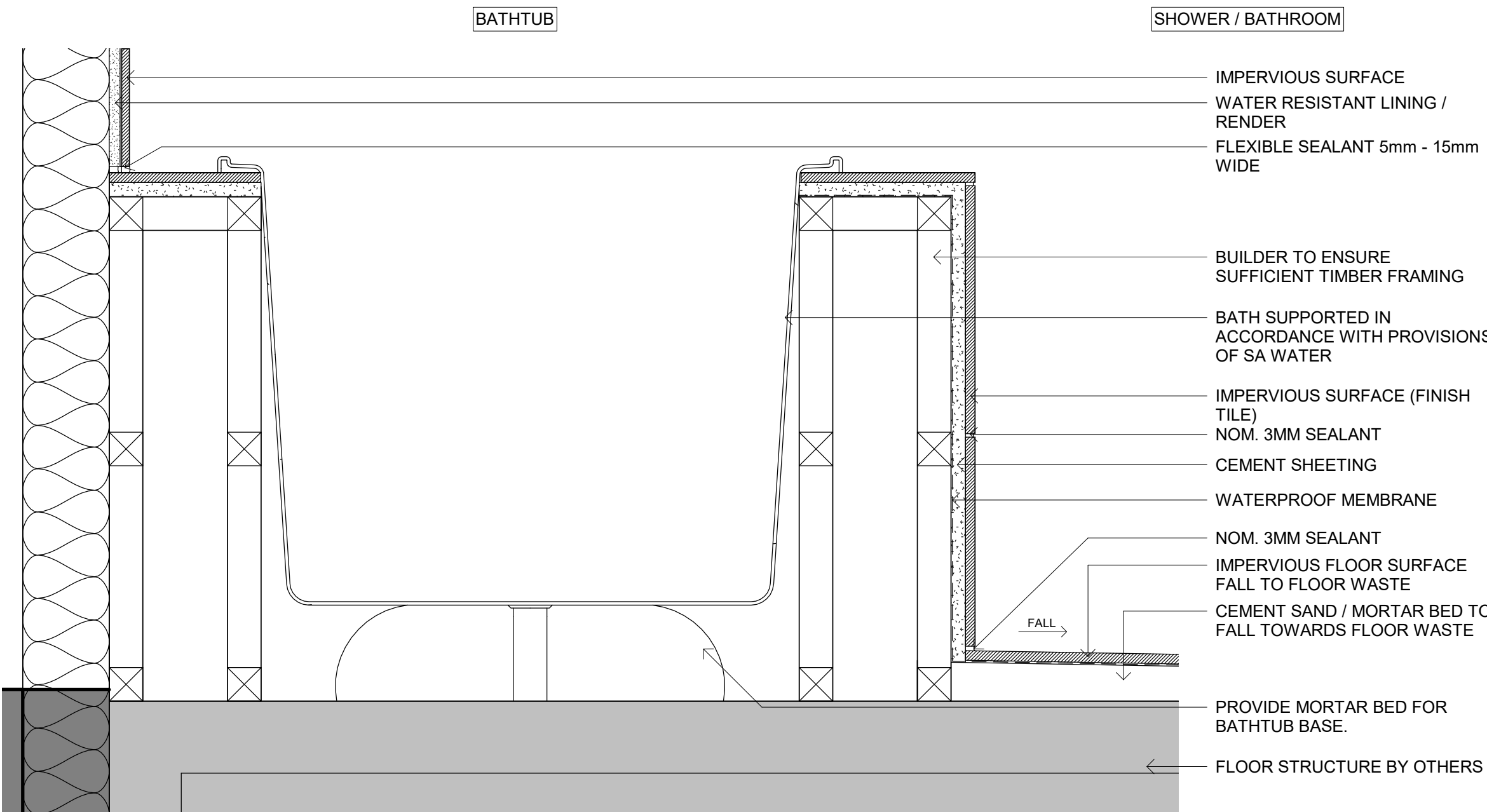


9 TYPICAL FIXTURE / WALL DETAIL
1 : 2



10 TYPICAL TAP / WALL DETAIL
1 : 2

TO BE READ IN CONJUNCTION WITH AS3740 ADDITIONAL REQUIREMENTS OF MINISTERS SPECIFICATION SA FI.7 2004



1 TYPICAL BATH TUB DETAIL
1 : 5

<div>IMPORTANT NOTES: Do not scale from drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the Architect. Larger scale drawings and written dimensions take preference. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of MARCHESE + PARTNERS INTERNATIONAL PTY. LTD.</div> <div>FOR CONSTRUCTION</div>	REVISION	DATE	DESCRIPTION	BY	<div>marchesepartners</div> <div>Marchese Partners International Pty Ltd Level 1, 22-26 Peel Street, Adelaide, SA 5000, Australia P +61 8 8121 9304 E info@marchesepartners.com www.marchesepartners.com Sydney · Brisbane · Canberra · Melbourne · Adelaide Kuala Lumpur · Auckland · Christchurch · London · Madrid ABN 20 098 552 151</div>	CLIENT HUIDA UNLEY PARK NO.1	DRAWING TITLE GENERAL WET AREA DETAILS				
	1	26/10/2018	PRELIMINARY	AR/KR			PROJECT UNLEY ROAD 392-394 UNLEY ROAD, UNLEY PARK 5061	SCALE As indicated @A1	DATE OCT 2018	DRAWN KR	CHECKED NW
	2	14/02/2019	ISSUE FOR INFORMATION	KR				JOB 17055	DRAWING A5.031	REVISION 2	